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SITE PLAN REVIEW PLANNER'S TECHNICAL REPORT

9141-9143 Greenhouse Rd., Bentonville AR 72712

EXECUTIVE SUMMARY

Ross Bull, applicant and property owner for Straightline Automotive, is proposing to construct a 3,330 sf commercial structure, in which 2,580 sf +/- would be used for a 6x bay automotive repair shop, with the remaining 750 sf used for office / administrative functions for the business. The property is currently improved with an existing, 1,684 sf dwelling, and an existing 684 sf accessory building. The accessory building would be used as part of the business, but for storage purposes only. Primary vehicular access is provided via an existing asphalt drive extending westward from the public ROW (Greenhouse Rd) to the existing dwelling. This drive would serve the proposed business, only, with vehicular access to the existing dwelling provided via a proposed secondary access point approximately 60 +/- ft. to the north of the current ingress/egress point. Sewerage would be disposed of via a temporary connection to the existing private septic system. Eventual connection to public sewer will be made via an extension line stemming from the adjacent subdivision now under construction.

To date, the following items are outstanding:

1. Site Plan revisions to include the following: Revise 'site parking data table' as follows: 1.) Remove 'other commercial & retail' calculation, 2.) Correct parking calculation for the 'automotive shop' using 1 space per employee + 3 spaces per vehicle bay, 3.) Correct parking calculation for the 'storage' using 'warehouse or storage facilities' calculation of 5 spaces per 2000 sf of GFA, 4.) Re-calculate total parking spaces required, 5.) Notate number of parking spaces provided; 7.) Notate on lower portion of table the need for any parking variances based upon differences between required and provided parking spaces; Revise dimensions for loading space to a minimum of 10ft by 25ft; Show inset detail showing required, level 3compatibility buffering between proposed auto shop and surrounding residential uses; correct front, side, and rear building-to-property line set-back lines; amend 'general note' to include source of GIS topography data.
2. Drainage statement / cover letter from Certified Engineer confirming the adequacy of Stormwater management on-site, supported by both pre-development and post-development runoff coefficients, indicating if on-site stormwater management systems will be required to mitigate site runoff resulting from increased impervious surfaces. Statement / cover letter shall provide pre and post-development impervious cover calculations, and inclusive of existing dwelling on site (*p/o required SWP*).
3. The applicant must submit service confirmation letters for fire and/or EMS service to the site.
4. On or before Nov. 19th, USPS certified mail receipts showing that written notice was sent to surrounding property owners regarding the Dec. 3rd public hearing.
5. On or before Nov. 19th, date stamped photograph(s) verifying that the required public hearing notice signage along the properties frontage with Greenhouse Rd. has been conspicuously posted on site.

PROJECT INFORMATION

Applicant / Owner: Ross Bull

Address of subject property: 9141-9143 Greenhouse Road, Bentonville AR 72712

Parcel ID: 18-08679-000

Parcel Size: 1.48 acres

Current Land Use: Residential

Proposed Land Use: Heavy Commercial / Office / Residential

Attachments: The following drawings and documents are attached:

1. Location Map
 2. Proposed Site Plan
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PLANNING ANALYSIS

Description of Property and Surrounding Area:

The 1.48 acre subject property is located on the west side of Greenhouse Rd, approximately ¾ mile south of its intersection with Hwy 102 / Centerton Blvd. The property is currently improved with an existing, 1,684 sf dwelling, and an existing 684 sf accessory building. Primary vehicular access is provided via an existing asphalt drive extending westward from the public ROW (Greenhouse Rd) to the existing dwelling. Sewerage and water service to the site is provided by private septic and public water, respectively. The site is has an array of large, mature trees on its southern border, with other mature trees scattered throughout. The parcel is surrounded on its north, west, and southern boundary by the municipal boundary of Centerton, which has annexed and approved those adjacent lands for a major, medium density residential subdivision (Creekside). On the opposing, east side of Greenhouse Rd. are established, pasture / agricultural uses. To the south and east of the site are the municipal limits of Bentonville, inclusive of a medium density, residential subdivision. The property is not located within the FEMA 100-yr. floodplain, but is located within a designated MS4 area.

Background information:

On 08/13/2014, applicant attended the Development Departments' Development Review Committee (DRC) meeting. On 10/15/2014, the applicant met with staff to review the project and application requirements. On 10/27/2014, the applicant consulted with planning staff and submitted the application for official Site Plan Review. On 11/03/2014, an inter-departmental review form was sent to the following agencies: Planning Division, Health Dept., Road Dept., Building Dept., Fire Marshal, Administrator of General Services, and Benton County 911 Administration.

TECHNICAL REVIEW OF SITE PLAN

Parcel Information:

Site inspection and research against State assessment records, the property is occupied by two enclosed structures, one residential and the other an accessory structure. The site was recently re-recorded as a single lot of record from two previous lots of record. This was accomplished in order to meet Benton County's one-acre minimum lot requirements.

Noticing Requirements:

On or before Nov. 19th, the applicant must submit to Staff USPS certified mail receipts showing that written notice was sent to surrounding property owners regarding the Dec. 3rd public hearing, as well as date stamped photograph(s) verifying that the required public hearing notice signage along the properties frontage with Greenhouse Rd. has been conspicuously posted on site.

Standard Building Setbacks:

Required: A fifty five (55) feet setback measured from the center line of the fronting road or twenty-five (25) feet from the fronting property line, whichever is greater is required; A side and rear yard, building to property line setback of ten (10) feet is required.

Comments: Site plans incorrectly apply current building to property line setbacks, and must be revised accordingly. All existing as well as the proposed buildings should either meet existing setback requirements or apply for a variance.

Parking Requirements:

Required: Parking calculations shall be based upon the sum total of each separate use being proposed as part of the Site Plan Review application. For the subject property and proposal, parking calculations shall be based upon 1.) Automotive shop using 1 space per employee + 3 spaces per vehicle bay; 2.) 'office' using 3 spaces per 1000 sf of GFA, 3.) 'storage' using 'warehouse or storage facilities' calculation of 5 spaces per 2000 sf of GFA. Note: Sites requiring 25 standard spaces or less require minimum 1 ADA accessible spaces.

Comment: Applicant must revise 'site parking data table' as follows; 1.) Remove 'other commercial & retail' calculation, 2.) Correct parking calculation for the 'automotive shop' using 1 space per employee + 3 spaces per vehicle bay, 3.) Correct parking calculation for the 'storage' using 'warehouse or storage facilities' calculation of 5 spaces per 2000 sf of GFA, 4.) Re-calculate total parking spaces required, 5.) Notate number of parking spaces provided; 7.) Notate on lower portion of table the need for any parking variances based upon differences between required and provided parking spaces. Based on the required parking and proposed uses for the site, the total number of required standard parking spaces is 24, whereas the applicant currently shows 22 on the site plans submitted. The applicant has applied for a variance to allow 22 spaces in lieu of the required 24 spaces. The site shows 1 ADA accessible space as is required for site with less than 25 required standard spaces.

Site Features- Loading area:

Current loading space is shown as having dimensions of 9ft in width and 19ft in depth. Loading spaces are required to be a minimum of 10ft by 25ft and should be revised accordingly on the site plans.

Site Features – Lighting:

Applicant has not indicated any additional outdoor lighting on the site plan or application.

Comment: All exterior lighting on-site associated with the proposed structure shall be of a zero/full cut-off variety. Site plan show/note single, pole mounted lighting fixture to be converted to full-cutoff.

Parking / Landscape Buffer:

Required: Adjoining incompatible uses should be screened with landscaping, walls, berms, or similar treatments. Section 4.6.16.c states that all required vegetative screening must have a minimum height of five (5) feet. All trees should be wire basket, B & B, or container grown. Smaller flowering trees and ornamentals will be centered at four (4') feet maximum. Coniferous trees will be centered at four (4') feet to five (5') feet depending on desired effect. All shrubs are to be planted in continuous planting beds. Planting beds will be mulched to a minimum depth of three (3") inches and will be maintained weed free. Plantings consisting of trees and shrubs will be a minimum of 50% coniferous plantings.

Comment: Land Use Compatibility analysis, per sec. 6.7, shows that the proposed use is classified as 'heavy commercial', and is immediately adjacent to single-family residential (medium density) land uses to the north, south, and west. This places the proposed use as being 'not compatible', and as such, will require mitigation efforts in order to buffer the proposed automotive repair shop. Specifically, table 6.6 (Compatibility Levels and Criteria) requires greater than 20 ft. of setback and may require 3 tier plantings as well as fencing.

Access Driveways:

Required: The design and construction shall be in accordance with the standards as presented in the Benton County Road Plan.

Comment: The site fronts along a County maintained roadway. While the Benton County Roads Dept. has not provided formal comments as part of their inter-agency review for this project, Staff suggests further dialogue be conducted regarding the possibility of shared access being shifted to the central portion of the properties frontage with Greenhouse Road in order to maximize distances between two, future ingress/egress points of access for the neighboring residential subdivision currently under construction.

Site Services - Drainage/ Stormwater Management Plan:

Required: Applicant is required to indicate on plan storm drainage infrastructure and to provide an off-site drainage study. If study indicates an increase in peak flow discharge downstream, the developer shall construct a detention facility or an alternative LID methodology that shall control the peak runoff rate. The County also recommends minimizing impervious surface to limit the need for such facilities.

Comment: The subject property is located in an MS4 area, and will be required to obtain a Stormwater Permit (SWP) prior to obtaining a building permit. The application for a SWP will require a drainage statement / cover letter from a State of Arkansas Certified Engineer confirming the adequacy of stormwater management on-site. This shall be supported by both pre-development and post-development runoff coefficients, indicating if on-site stormwater management systems will be required to mitigate site runoff resulting from increased impervious surfaces. Statement / cover letter shall also provide pre and post-development impervious cover calculations, and shall be inclusive of the existing dwelling on site. This shall be done in accordance with §4.6.10.

Site Services - Solid Waste Disposal:

Service confirmation from Republic Services for solid waste removal was received from the applicant on 10/27/2014.

Current site plans show the location of the existing dumpster adjacent to and to the rear of the proposed building. Applicant shall screen this enclosure as part of the larger, level 3 buffering requirements stipulated under the land use compatibility chart.

Site Services - Electrical Power Supply:

Service confirmation from Carroll Electric Cooperative for electrical service was received from the applicant on 10/27/2014.

Site Services - Sewage Disposal:

Required: Regardless of development size, a state-approved septic disposal method is required of all commercial and industrial developments. All disposal system criteria must meet or exceed septic requirements as established by the Arkansas Department of Health (ADH) in accordance with Act 402 of 1977 as amended.

Comment: On 09/09/2014, ADH approved the applicants' request to temporarily connect the proposed automotive repair business to the existing, residential septic system. This is supported by a letter from the City of Centerton, dated 08/08/2014, stating that the sewer system for the adjacent, residential subdivision (Creekside) will be extended to the site and provides an eventual public sewer connection for the uses on the subject property. ADH approved the temporary connection with the following stipulations; The existing septic system is for domestic waste only; Additional water usage that causes failures in the system will require a disconnect and alternate design; ADH must be notified when the public sewer connection is established for both the existing dwelling and the proposed automotive shop, with proper documentation for the septic abandonment.

Site Services - Water Service:

Water service for the existing residence currently provided for via public water through the City of Centerton, which will continue for the proposed uses.

Site Services - Fire & EMS:

Benton County E-911 Administration verified the existing dwelling as 9143 Greenhouse Rd, and assigned new addresses to the proposed automotive repair building as 9141 Greenhouse Rd.

Benton County Fire Marshall provided the following comments; 1.) Applicant will need to separate the occupancies of repair shop (group S-1) and the office area (group B) with a 2 hour fire wall. This fire wall shall not have windows and or doors installed unless it is rated for the same 2 hour fire wall separation. The fire wall separation will be required from floor to ceiling deck with all penetrations to be sealed with fire rated caulk; 2.) A Knox Box lock will be required for fire access through Centerton Fire Department; 3.) Emergency lighting, exit lighting and fire extinguishers will be required throughout building 4.) All flammable items will need to be stored within labeled and rated containers (New and Used Oils, Gasoline etc.) A flammable cabinet may be required for small containers.

Comment: The applicant must submit service confirmation letters for fire and/or EMS service to the site.

OUTSTANDING ITEMS:

1. Site Plan revisions to include the following: Revise 'site parking data table' as follows; 1.) Remove 'other commercial & retail' calculation, 2.) Correct parking calculation for the 'automotive shop' using 1 space per employee + 3 spaces per vehicle bay, 3.) Correct parking calculation for the 'storage' using 'warehouse or storage facilities' calculation of 5 spaces per 2000 sf of GFA, 4.) Re-calculate total parking spaces required, 5.) Notate number of parking spaces provided; 7.) Notate on lower portion of table the need for any parking variances based upon differences between required and provided parking spaces; Revise dimensions for loading space to a minimum of 10ft by 25ft; Show inset detail showing required, level 3 compatibility buffering between proposed auto shop and surrounding residential uses; correct front, side, and rear building-to-property line set-back lines; amend 'general note' to include source of GIS topography data.
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CONCLUSION:

The proposed 3,330 sq. ft. commercial / office building was reviewed by planning staff to ensure compliance with the Planning and Development Regulation of Benton County. The project must revise its site plan as detailed in the 'outstanding items' above. Further, the inset detail showing how level 3 compatibility requirements for landscape buffering will be achieved shall be tied to the issuance of a decision letter. Finally, a drainage letter must be approved by a licensed engineer in the State of Arkansas to affirm that finished grades and additional impervious cover will not adversely impact surrounding property, and, that the site can adequately retain and disperse stormwater runoff without the need for separate, engineered containment and release structures.

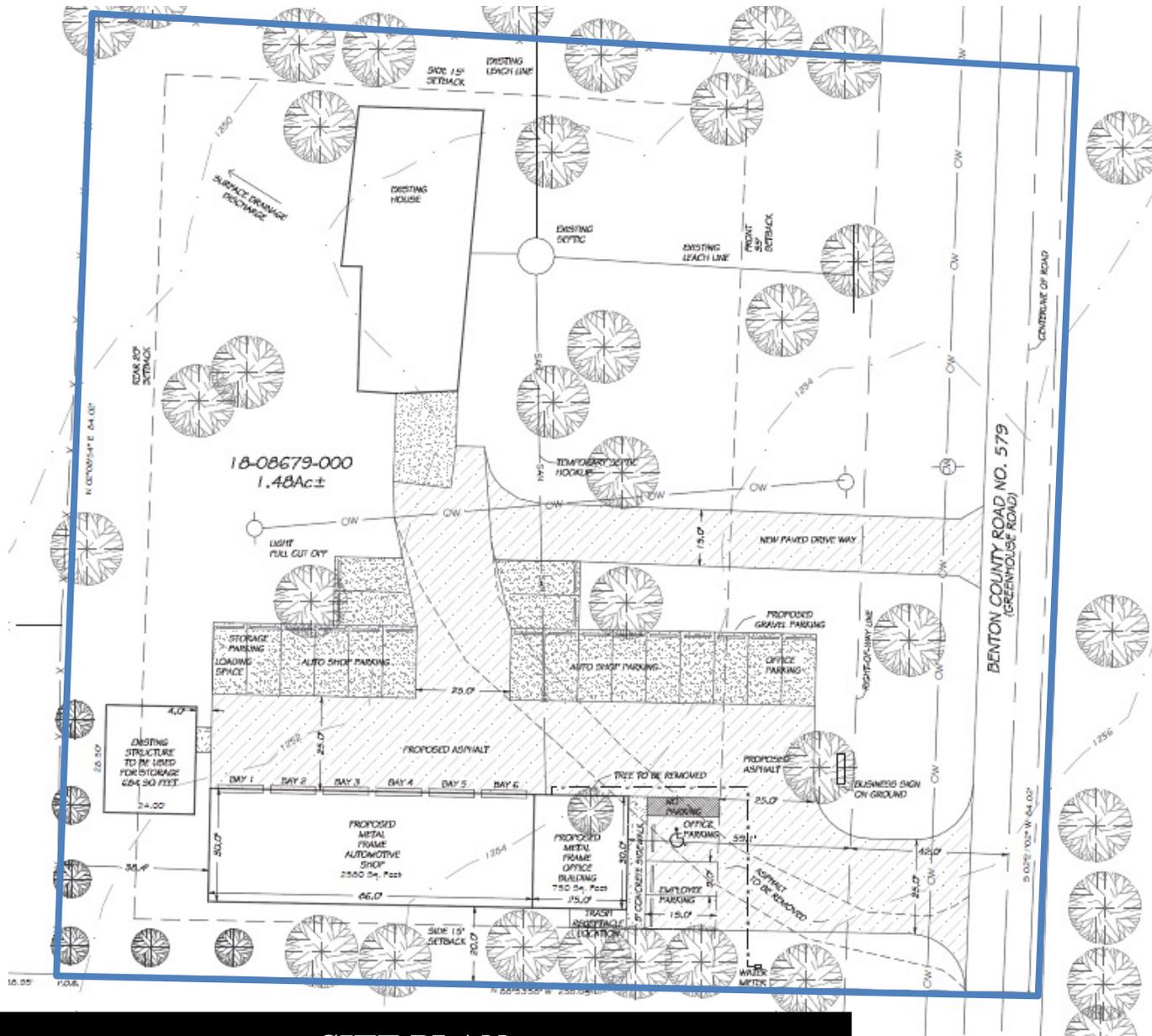
Prepared by: Kevin M. Gambrell, AICP, Planning Director

Reviewed by: Michael McConnell, Senior Planner
Taylor Reamer, County Planner



LOCATION MAP





SITE PLAN